

RESOLUTION NO. 2007-232

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ELK GROVE APPROVING A BOUNDARY LINE ADJUSTMENT/LOT MERGER AND DESIGN REVIEW FOR THE SEASONS AT LAGUNA RIDGE PROJECT NO. #EG-06-1086 APNs: 132-0050-028, 029, 034, AND 035

WHEREAS, TSD Engineering, Inc. (the "Applicant") filed an application with the City of Elk Grove ("City") for a Rezone, Boundary Line Adjustment/Lot Merger, and Design Review; and

WHEREAS, the City Council is the appropriate authority to hear and take action on this project after a recommendation by the Planning Commission; and

WHEREAS, the proposed project is located on real property in the incorporated portions of the City of Elk Grove more particularly described as APNs: 132-0050-028, 029, 034, and 035 (the "Property"); and

WHEREAS, the City has determined that the Seasons at Laguna Ridge Project was subject to the California Environmental Quality Act (CEQA) and prepared an Initial Study evaluating the potential environmental effects of the project; and

WHEREAS, in accordance with Section 15070(a) of the CEQA Guidelines, the City prepared and circulated a Negative Declaration; and

WHEREAS, the Initial Study identified that impacts to resources specific to this project can be adequately reduced through implementation of the mitigation measures contained in the Laguna Ridge Specific Plan Mitigation Monitoring and Reporting Program (LRSP MMRP); and

WHEREAS, the Applicant has been conditioned to comply with the LRSP MMRP and no mitigation measures beyond those identified in the LRSP MMRP are necessary; and

WHEREAS, the Planning Commission considered the Applicant's request at a public hearing on September 20, 2007 and recommended City Council approval of the Project.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Elk Grove hereby approves the project, subject to the conditions of approval as illustrated in Exhibit A and Project Exhibits as illustrated in Exhibit B, based on the following findings:

CEQA

Finding: On the basis of the whole record, there is no substantial evidence that the project as designed and conditioned will have a significant effect on the environment. A Negative Declaration has been prepared and completed in accordance with the California Environmental Quality Act (CEQA). The Negative Declaration reflects the independent judgment and analysis of the City.

Evidence: The Laguna Ridge Specific Plan Environmental Impact Report (SCH# 200082139) was adopted by the City Council in June 2004. The EIR addressed environmental issues related to the development the Laguna Ridge Specific Plan, where the Seasons project is located, but did not include an analysis of the resources present at the Seasons project site (considered a non-participating property). Site specific studies, such as biological resources study, cultural resources study, wetland delineation, and phase 1 environmental survey, were prepared for the project site. An Initial Study was prepared to determine the potentially significant adverse effects on environmental resources caused by development of the project site. The Initial Study concluded that adverse effects to environmental resources present at the project site could be adequately reduced through implementation of the mitigation measures contained in the Laguna Ridge Specific Plan MMRP, which the project is required and has been conditioned to comply with. A Negative Declaration was prepared and circulated for a 30-day public comment period along with the Initial Study. Two comment letters were received within the public comment period. These comments do not alter the results of the Initial Study/Negative Declaration. Responses to the comments are included in the September 20 Planning Commission staff report. The City of Elk Grove, Development Services - Planning Department, located at 8401 Laguna Palms Way, Elk Grove, California 95758 is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the Negative Declaration is based.

Boundary Line Adjustment/Lot Merger

Finding: Approval of the Boundary Line Adjustment/Lot Merger will not result in any changes in land use density.

Evidence: The adjusted/merge lots will not result in any changes in land use density. The proposed new lot will meet the Development Standards and Requirements for the Medium Density Residential (RD-15) zoning designation.

Design Review

Finding: The proposed project is consistent with the objectives of the General Plan, complies with applicable zoning regulations, Specific Plan provisions, Citywide Design Guidelines, and Improvement Standards adopted by the City.

Evidence: The proposed project is consistent with the General Plan land use designation of High Density Residential. The site layout has been reviewed against the Zoning Code, Citywide Design Guidelines, and Laguna Ridge Specific Plan Supplemental Design Guidelines for multi-family development and meets all applicable design requirements. The project is subject to conditions of approval that will ensure consistency with all standard requirements, including conformance with the City of Elk Grove Improvement Standards.

Finding: The proposed architecture, site design, and landscape are suitable for the purposes of the buildings and the site and will enhance the character of the neighborhood and community.

Evidence: The proposed site design and architecture are appropriate for a multi-family residential project. As designed, the project will provide an attractive and functional high density housing project. The high quality of the product is consistent with the surrounding area. The site plan, elevations, and landscape plans provide all design elements required by the LRSP Design Guidelines and Citywide Design Guidelines. The project also provides consistent detailing of the architectural style, sufficient pedestrian connectivity, and consistent color palette. The project is subject to conditions of approval that will ensure consistency with all standard requirements.

Finding: The architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.

Evidence: The proposed project will provide all required design elements that would establish a multi-family housing area compatible with the neighborhood. The varying roofline heights, staggered wall planes, and design elements such as awnings, moldings, metal grids, and square accents contribute to a high quality design. The project is subject to conditions of approval that will ensure consistency with all standard requirements.

Finding: The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

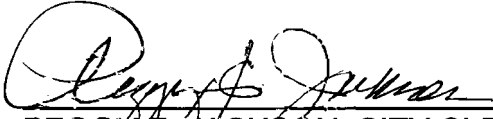
Evidence: The proposed project layout provides adequate off-site access and on-site circulation for vehicle, bicycle, and pedestrian modes and sufficient parking for vehicles and bicycles consistent with applicable requirements. Vehicle access into the Seasons project is provided by driveways off of Bilby Road and Bruceville Road. Pedestrian access has been designed to connect with the future project to the north and the Treasure Homes subdivision to the east to allow public park access. The project is subject to conditions of approval that will ensure consistency with all standard requirements and the safe integration of the project into the local transportation network.

PASSED AND ADOPTED by the City Council of the City of Elk Grove this 10th day of October 2007.




JIM COOPER, MAYOR of the
CITY OF ELK GROVE

ATTEST:



PEGGY E. JACKSON, CITY CLERK

APPROVED AS TO FORM:



SUSAN COCHRAN, CITY ATTORNEY

Exhibit A: Conditions of Approval

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
On-Going			
<p>1. The development approved by this action is for a Rezone from Agricultural-20 acres minimum (AG-20) to Medium Density Residential (RD-15) consistent with the Laguna Ridge Specific Plan, a <i>Boundary Line Adjustment/Lot Merger</i> to merge two parcels and adjust one lot line, and a <i>Design Review</i> for the construction of a 222-unit senior residential facility as described in the Planning Commission report and associated Exhibits and Attachments dated September 20, 2007 and illustrated in the project plans below:</p> <ul style="list-style-type: none"> • Rezone Exhibit (received August 30, 2007) • Boundary Line Adjustment/Merger Exhibit (received April 24, 2007) • Site Plan (received June 11, 2007) • Building Elevations & Floor Plans (received April 20, 2007) • Landscape Plan (received June 21, 2007) <p>Any deviations from the approved plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.</p>	On-Going	Planning	
<p>2. The Applicant or Successors in Interest (hereby referred to as the "Applicant") shall hold harmless the City, its Council Members, its Planning Commission, officers, agents, employees, and representatives from liability for any award, damages, costs and fees incurred by the City and/or awarded to any plaintiff in an action challenging the validity of this permit or any environmental or other documentation related to approval of this permit. Applicant further agrees to provide a defense for the City in any such action.</p>	On-Going	Planning	
<p>3. This action does not relieve the Applicant of the obligation to</p>	On-Going	Planning	

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	comply with all ordinances, statutes, regulations, and procedures.			
4.	If any previously unrecorded historic or prehistoric sites are encountered, all work shall be halted in the immediate vicinity of any finds until a professional archeologist records and evaluates the finds, and until appropriate mitigation, if any, is completed to the satisfaction of the City.	On-Going	Planning	
5.	If human remains are discovered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur in the vicinity of the discovery until the county coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code Section 5097.98.	On-Going	Planning	
6.	If there are any discrepancies between the approved site plan and the conditions of approval, the conditions of approval shall supersede the approved site plan.	On-Going	Public Works	
7.	Any on-site traffic calming devices and locations must be approved by Public Works prior to installation, including but not limited to speed bumps.	On-Going	Public Works	
8.	All driveways and intersections shall conform to the visibility easement requirement in the City of Elk Grove Improvement Standard.	On-Going	Public Works	
9.	The Applicant shall not allow any 'strictly prohibited signs' (i.e. lighter-than-air or balloon devices) to be displayed for advertising or other functions within this project.	On-Going	Community Enhancement	
10.	All trash/recycle pick-up shall be limited between the hours 7:00 a.m. to 6:00 p.m. weekdays.	On-Going	Community Enhancement	
11.	The Applicant shall not provide for a nuisance during the construction phase or intended use of the project.	On-Going During Construction	Community Enhancement	
Prior to Improvement Plans or Grading				
12.	The development approved by this action is subject to the Mitigation Monitoring and Reporting Program (MMRP)	Prior to the Issuance of and	Planning	

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	adopted as part of the Laguna Ridge Specific Plan EIR. A deposit of \$10,000 for monitoring mitigation measures applicable to this development shall be paid to the City in order to assure MMRP compliance. If actual City monitoring costs exceed the initial estimate, a revised estimate and/or supplemental bill(s) will be submitted to the Applicant.	Plans or Permits Associated with this Project, the Applicant shall Submit the Deposit to the City of Elk Grove		
13.	The Applicant shall provide a Fencing Plan to the Planning Department for review and approval. A masonry wall shall be provided along the east property line to the satisfaction of the Planning Department.	Improvement Plans	Planning	
14.	The landscaping for this project shall incorporate the City's Zoning Code, Conditions of Approval, Design Guidelines, and Water Conserving Landscape Requirements. Landscape improvement plans shall be submitted to the Planning Department and the Public Works Department for review and approval.	Improvement Plans	Planning / Public Works / Landscape Architect	
15.	The landscaping of the Bruceville Road and Bilby Road landscape corridors shall meet the City's or the Cosumnes CSD's landscape guidelines for landscape corridors and easement.	Improvement Plans	Planning / Public Works / Landscape Architect	
16.	Water quality swales and bio swales shall be located outside of City landscape easements.	Improvement Plans	Planning / Public Works / Landscape Architect	
17.	The Applicant shall 1) relocate trees #48 49, 55, and 57 into the project site landscaping and 2) provide mitigation for the removal of tree #58 total 11 inches). Mitigation shall be in the form of mitigation planting, as approved by the City, or payment of the City's per inch mitigation fee. The mitigation shall be on an inch-per-inch dbh basis.	Prior to Issuance of a Grading Permit / Improvement Plans	Planning / Landscape Architect	
18.	The Applicant shall prepare a Mitigation/Tree Replacement Plan to address 11 inches (dbh) for oak tree removal as	Prior to Issuance of a Grading	Planning / Landscape Architect	

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<p>follows:</p> <p>If healthy native oak trees are to be removed and required to be mitigated, a Mitigation/Tree Replacement Plan shall be prepared once mitigation inches are determined. The Plan shall be prepared by a ISA Certified Arborist or landscape architect to mitigate for the loss of native trees 6-inch dbh or larger and all non-native trees larger than 19-inch dbh that are proposed for removal or that would be adversely affected by the project. The Plan shall comply with the City Code and General Plan Policies and be submitted to the City for review and approval. The current policies require that every dbh inch lost shall be mitigated by an inch planted or money placed in a tree mitigation bank. Please note that plantings required due to mitigation cannot be applied to fulfilling the landscaping requirements of the City's Design Guidelines. The Plan shall include the following entitlements:</p> <ol style="list-style-type: none"> 1. Species, size and location of all replacement plantings (15-gallon = 1" dbh; 24" box = 2" dbh; 36" box = 3" dbh); 2. Method of irrigation; 3. The City of Elk Grove Standard Tree Planting Detail L-1, including the 10-foot depth boring hole to provide for adequate drainage; 4. Planting, irrigation and maintenance schedules for monitoring period of 3 years; 5. Identify the maintenance entity and include their written agreement to provide maintenance and irrigation of the trees for a 3-year establishment period, and to replace any of the replacement trees which do not survive for that period; 	<p>Permit / Improvement Plans</p>		

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<p>6. Maintenance entity shall provide the City of Elk Grove a yearly monitoring report on the status of relocated or replacement trees and,</p> <p>7. The minimum spacing for replacement oak trees shall be 20 feet on center; Replacement oak trees shall not be planted within 15 feet of the drip lines of existing oak trees to be retained on-site, or within 15 feet of a building foundation.</p>			
<p>19. The Applicant shall obtain applicable California Department of Fish and Game, U.S. Army Corps of Engineers, and other required state and federal permits. The conditions of such permits must be reviewed and considered acceptable by the City. The City will not accept any conservation or other conditional easements on the drainage courses to be conveyed to the City.</p>	<p>Prior to Improvement Plan approval and Prior to Issuance of Grading Permits</p>	<p>Public Works</p>	
<p>20. The Applicant shall provide a non-potable water distribution system to the satisfaction of the Sacramento County Water Agency. When available, the Applicant shall use non-potable water during grading and construction.</p>	<p>Improvement Plan approval and Prior to Issuance of Grading Permits</p>	<p>Sacramento County Water Agency</p>	
<p>21. The Applicant shall submit a hydrology/hydraulics analysis in a written report format. The report at a minimum shall include the methodology used to calculate/model the drainage facilities proposed on the improvement plans with all supporting assumptions included, such as, schematics, graphs, maps and tables. All inputs and analysis shall be consistent with Section 9, Drainage, of the City of Elk Grove Improvement Standards. For this report, the Applicant shall provide a detailed drainage analysis to compare the pre versus post project flows at the point of discharge and to demonstrate how post project flows will be mitigated to pre project conditions for the 100-year storm event. The analysis</p>	<p>Prior to Improvement Plans Approval</p>	<p>Public Works</p>	

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	will be supported by elevations, dimensions, configurations and locations.			
22.	The Applicant may provide a berm at the northern property boundary, unless the Applicant can demonstrate based on existing topography that the natural drainage pattern is from east to west, to ensure that overland runoff from the north flows toward Bruceville Road and prevents these flows from entering the proposed project site. For the 10-year event, the Applicant shall provide appropriate calculations to demonstrate that the proposed Bruceville Road storm drain system has sufficient capacity to properly convey the additional flows from the northern property diverted by the proposed berm. The Applicant shall provide calculations demonstrating that the first floor elevations of this project are at least 1 foot above the 100 year water level.	Prior to Improvement Plans Approval	Public Works	
23.	The boundary line adjustment shall be completed prior to Improvement Plan approval.	Prior to Improvement Plans Approval	Public Works	
24.	The Applicant shall submit and obtain City approval of plans and specifications for the construction of public streetlights in accordance with the City of Elk Grove Improvement Standards including any approved revisions thereto. Streetlight identification numbers shall be added to plans as assigned by Public Works during the first plan review.	Prior to Improvement Plans Approval		
25.	The Applicant shall destroy all abandoned wells on the proposed project site in accordance with the requirements of the Sacramento County Environmental Health Division. Clearly show all abandoned/destroyed wells on the improvement plans for the project. Prior to abandoning any existing wells, the Applicant shall use water from agricultural wells for grading and construction.	Improvement Plans	Sacramento County Water Agency	
26.	Connection to the District's sewer system shall be required to	Improvement	CSD-1	

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	the satisfaction of CSD-1. Sacramento County Improvement Standards shall apply to sewer construction.	Plans		
27.	Each parcel and each building with a sewage source shall have a separate connection to the CSD-1 sewer system.	Improvement Plans	CSD-1	
28.	In order to obtain sewer service, construction of CSD-1 sewer infrastructure will be required. An on-site collection system will be required for all pipes carrying waste from two or more buildings or sewage sources and shall consist of 8-inch (min.) pipes in public easements. Off site installations will likely be required as determined by the sewer study. Connection to the 12-inch force main in Bruceville Road will not be allowed.	Improvement Plans	CSD-1	
29.	CSD-1 shall require an approved sewer study prior to the submittal of improvement plans for plan check to CSD-1, which ever comes first. The sewer study shall demonstrate the quantity of discharge and any "flow through sewage" along with appropriate pipe sizes and related appurtenances from this subject and other upstream areas and shall be done in accordance with the most recent District's "Minimum Sewer Study Requirements." The study shall be done on a no "Shed-Shift" basis unless approved by the District in advance and in compliance with Sacramento County Improvement Standards.	Improvement Plans	CSD-1	
30.	Sewer easements will be required. All sewer easements shall be dedicated to CSD-1, in a form approved by the District Engineer. All CSD-1 sewer easements shall be at least 20 feet in width and ensure continuous access for installation and maintenance.	Improvement Plans	CSD-1	
31.	CSD-1 will provide maintenance only in public right-of-ways and in minimum 20-foot wide easements dedicated to CSD-1 for the purpose of continuous access and maintenance.	Improvement Plans	CSD-1	
32.	The subject project owner(s) and successors in interest thereof, shall be responsible for repair and/or replacement of	Improvement Plans	CSD-1	

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	all non-asphalt and/or enhanced surface treatments of streets and drives within these easements damaged by District maintenance and repair operations, including landscaping, channelizations, lighting and any other appurtenances conflicting therein. This requirement shall be set forth in easement grant documents and be a covenant running with the land, be responsibility of successors in interest in future land transfers and divisions and by language approved by the District. Surface enhancements include, but are not limited to non-asphaltic paving, landscaping, lighting, curbing and all non-driveable street appurtenances.			
33.	CSD-1 requires their sewers to be located a minimum of 10 feet (measured horizontally from edge of pipe to edge of pipe) from all potable water lines. Separation of sewer line from other parallel utilities, such as storm drain and other 'dry' utilities (electrical, telephone, cable, etc.) shall be a minimum of 7 feet (measured horizontally from the center of pipe to the center of pipe). Any deviation from the above separation due to depth and roadway width must be approved by the District on a case by case basis. Prior to approval of Improvement Plans, the Applicant shall prepare a utility plan that will demonstrate that this condition is met.	Improvement Plans	CSD-1	
34.	All structures along private drives shall have a minimum 10-foot setback (measured horizontally from edge of collector pipe to edge of structure) so that CSD-1 can properly maintain the sewer line.	Improvement Plans	CSD-1	
35.	Gates across CSD-1 easements shall meet CSD-1 standards for accessibility.	Improvement Plans	CSD-1	
36.	The main entrance and secondary entrance shall have a minimum turning radius of 25' inside and 50' outside for all emergency apparatus.	Improvement Plans	Fire	
Prior to Building Permits				

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37.	The Improvement Plans must be approved by Public Works prior to the 1 st Building Permit.	Prior to Building Permit	Public Works	
38.	The Applicant shall dedicate a 12.5 foot public utility easement for underground and appurtenances adjacent to all public streets.	Prior to Building Permit	Public Works	
39.	The Applicant shall provide a reciprocal access easement agreement between this project and parcels 132-0050-034 and 132-0050-035. The location of the access point(s) shall be to the satisfaction of Public Works.	Prior to Building Permit	Public Works	
40.	The Applicant shall dedicate a pedestrian easement between this project and the Treasure Homes Subdivision project to the east, as identified on the site plan. The location of the easement shall be to the satisfaction of Public Works.	Prior to Building Permit	Public Works	
41.	The driveway on Bilby Road ultimately will be limited to right in/right out turn movements only. During the interim condition, lefts in and out shall be allowed.	Prior to Building Permit	Public Works	
42.	The driveway on Bruceville Road will allow right in/right out turn movements. Allowance for left-in turn movements will be evaluated during Improvement Plan review.	Prior to Building Permit	Public Works	
43.	The Applicant shall dedicate, design and improve the easterly half section of Bruceville Road, 48' from the approved centerline to the back-of-curb. Sidewalks shall be separated from back-of-curb except at bus stops, intersections and driveways. All improvements shall be in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Prior to Building Permit	Public Works	
44.	The Applicant shall dedicate a pedestrian easement and Public Utility Easement within the landscape corridor adjacent to the project's Bruceville Road and Bilby Road frontage to the satisfaction of Public Works.	Prior to Building Permit	Public Works	
45.	The Applicant shall improve a 36' landscape corridor on	Prior to Building	Public Works	

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	<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
	Bruceville Road to the satisfaction of Public Works.	Permit		
46.	The Applicant shall improve a 25' landscape corridor on Bilby Road to the satisfaction of Public Works.	Prior to Building Permit	Public Works	
47.	All drainage courses and appurtenant access roads to be conveyed to the City shall be dedicated and conveyed in fee title as separate parcels. Underground pipelines and open channels shall be located in the public right-of-way or parcels to be conveyed to the City. Parcels to be conveyed shall be a minimum of 25 feet wide. The Applicant shall provide minimum 20 foot wide maintenance service roads along the entire water course(s) to be conveyed. No conditional easements shall be placed on these drainage parcels.	Prior to Building Permit	Public Works	
48.	Within one intersection of the project in each direction, the Applicant shall install and/or replace the street name signs for all public or private streets, in accordance with the City of Elk Grove Standard Details.	Prior to Building Permit	Public Works	
49.	The Applicant shall acquire, dedicate, design and improve Bilby Road, in full width, based on a modified collector, 49' from approved centerline to the back of landscaping as identified in the Laguna Ridge Specific Plan. All improvement shall be in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Prior to Building Permit	Public Works	
50.	The Applicant shall acquire, dedicate, design and improve an expanded intersection at Bruceville Road / Bilby Road in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Prior to Building Permit	Public Works	
51.	The Applicant shall modify the signal at the intersection of Bruceville Road/Bilby Road, including but not limited to relocating and extending existing signal poles and installing new detection loops, to the satisfaction of Public Works	Prior to Building Permit	Public Works	

Exhibit A: Conditions of Approval

	<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
52.	The Applicant shall provide public water service to each building and dedicate maintenance easements in all public and private streets over all water lines to the satisfaction of the Sacramento County Water Agency.	Prior to Building Permit	Sacramento County Water Agency	
53.	Prior to building permit, the project area shall annex into the Police Services Mello-Roos Community Facilities District (CFD) 2003-2 to fund a portion of the additional costs for police service related to serving the new development. The annexation process can take several months, so Applicants should plan accordingly. The application fee for the annexation is due prior to the Resolution of Intention to Annex the Property and Levy the Special Tax. For further information regarding this CFD, see www.elkgrovecity.org/finance/financial-planning-division/cfd-information.htm . For information on the process to annex into financing districts, please see www.elkgrovecity.org/finance/financial-planning-division/annexation-to-districts.htm .	Prior to Building Permit	Finance	
54.	Prior to building permit, the project area shall annex into Street Maintenance Assessment District No. 1 to fund a portion of the additional costs for long-term roadway maintenance related to serving the new development. The annexation process can take several months, so Applicants should plan accordingly. The application fee for the annexation is due prior to the Resolution of Intention to Levy Street Maintenance Assessments. For further information on this District, see www.elkgrovecity.org/finance/financial-planning-division/assessment-other-dist-info.htm	Prior to Building Permit	Finance	
55.	Prior to building permit, the project area shall annex into the Laguna Ridge Mello-Roos CFD 2005-1 to fund the project's fair share of landscape maintenance costs which may	Prior to Building Permit	Finance	

Exhibit A: Conditions of Approval

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
<p>include, but not be limited to, roadway corridors, interchanges, medians, drainage corridors, trails, open space, and parks, and maintenance costs of other community facilities. The annexation process into the CFD can take several months, so Applicants should plan accordingly. The application fee for the annexation is due prior to the Resolution of Intention to Annex the Property and Levy the Special Tax. For further information regarding this CFD, see www.elkgrovecity.org/finance/financial-planning-division/cfd-information.htm</p>			
<p>56. Prior to building permit, the project area shall fund the project's share of infrastructure and facility requirements in the Laguna Ridge Specific Plan. This condition may be satisfied through participation in a Mello-Roos CFD, by payment of cash in an amount agreed to by the City Finance Director, by another secure funding mechanism acceptable to the City Finance Director, or by some combination of those methods. The annexation process into the CFD can take several months, so Applicants should plan accordingly. The application fee for the annexation is due prior to the Resolution of Intention to Annex the Property and Levy the Special Tax. For further information regarding this CFD, see www.elkgrovecity.org/finance/financial-planning-division/cfd-information.htm</p>	<p>Prior to Building Permit</p>	<p>Finance</p>	
<p>57. Prior to building permit, the project Applicant shall fund the project's share of land acquisition/dedication costs for public improvements in the Laguna Ridge Specific Plan that are not funded by other sources. This condition may be satisfied by participating in a fee program to be established by the City to fund such costs. In the event that the City does not establish such a fee program prior to building permit</p>	<p>Prior to Building Permit</p>	<p>Finance</p>	

Exhibit A: Conditions of Approval

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
58. issuance, the project Applicant shall pay cash to the Laguna Ridge Owners' Group in an amount agreed to by the Group and the project Applicant. In no event shall project Applicant be required to pay more than \$749,763.00 for the project's share of land acquisition/dedication costs for public improvement under either the City fee program or to the Laguna Ridge Owners' Group. Prior to building permit, the project Applicant shall fund the project's share of park improvements in the Laguna Ridge Specific Plan (including parks, parkways, and paseos) (collectively "park improvements") that are not funded by other sources. This condition may be satisfied by participating in a fee program to be established by the City to fund such costs. In the event that the City does not establish such a fee program prior to building permit issuance, the project Applicant shall pay cash to the Laguna Ridge Owners' Group in an amount agreed to by the Group and the project Applicant. In no event shall project Applicant be required to pay more than \$764,294.00 for the project's share of park improvements under either the City fee program or to the Laguna Ridge Owners' Group.	Prior to Building Permit	Finance	
59. The project Applicant shall pay all applicable City of Elk Grove administered development impact fees in effect at the time of building permit issuance (note there are development impact fee programs administered by other agencies including Sacramento County and the Elk Grove Unified School District). For further information on development related fees, see the Development Related Fee Booklet at: www.elkgrovecity.org/finance/financial-planning-division/df-information.htm Applicants are also advised to review the Planned Fee	Prior to Building Permit	Finance	

Exhibit A: Conditions of Approval

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
<p>Updates portion of the web page, and are encouraged to sign up for email updates on the Development Related Fee Booklet and the Planned Fee Updates links on the web page (see the upper right corner of these web pages). By signing up for email updates, you will receive an email notifying you every time these web pages change, which will assist you in planning costs associated with your project. Project Applicants of age restricted projects should contact the finance department to provide required documentation in order to obtain the age restricted development impact fee rates.</p>			
<p>60. The Applicant shall provide a lighting plan and photometric to the Planning Department and Police Department to demonstrate that the minimum foot candle is provided as per Section 23.56 of the Zoning Code and to the satisfaction of both departments.</p>	<p>Prior to Building Permit</p>	<p>Planning/Police</p>	
Prior to Final or Occupancy			
<p>61. The Applicant shall provide additional screening trees along the east property line on the Seasons project site consisting of 24" box Redwoods at 30 feet on-center.</p>	<p>Prior to Final or Occupancy</p>	<p>Planning / Landscape Architect</p>	
<p>62. Upon completion of the installation of the landscaping for the project, the project landscape architect/designer shall certify that the installed landscape complies with all City Water Conserving Landscape Requirements. Certification shall be accomplished by completion of a Certificate of Conformance on a form provided by the City. Failure to submit a complete and accurate Certificate of Conformance to the Planning Department will delay final approval/occupancy of the project.</p>	<p>Prior to Final or Occupancy</p>	<p>Planning / Landscape Architect</p>	
<p>63. Prior to final inspection or occupancy of any structure on the site, a Certificate of Conformance for the landscaped lots shall be provided to the City's landscape architect for</p>	<p>Prior to Final or Occupancy</p>	<p>Planning / Landscape Architect</p>	

Exhibit A: Conditions of Approval

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
approval.			
64. All lighting located adjacent to the residential development shall not produce nuisance off-site glare. Where the light source is visible beyond the property line, shielding shall be required to reduce glare so that the light source is not visible from within any residential dwelling unit.	Prior to Final or Occupancy	Planning	
65. All building attached mechanical equipment and other utility equipment shall be screened from view of public streets, parking lots, and adjacent residential property. Equipment screening shall be integrated into the building and roof design with the use of compatible materials, colors, and form.	Prior to Final or Occupancy	Planning	
66. Roof mounted equipment shall be setback from the roof edge or placed behind a parapet or roof structure so they are not visible for motorists or pedestrians on adjacent streets or from residential structures on adjoining property. All roof mounted equipment shall be sized to be equal to or below (lower in height) than the adjoining parapet or roof structure.	Prior to Final or Occupancy	Planning	
67. The Applicant shall provide additional accessible parking stalls above the minimum requirement of Chapter 11 of the California Building Code to the satisfaction of the Building Department and Planning Department.	Prior to Final or Occupancy	Building/ Planning	
68. Identification signage issued by Public Works shall be mounted by the Applicant during streetlight installation in accordance with the approved plans. Alterations to streetlight plans shall be updated on record drawings. The Applicant shall submit, in addition to the complete set of improvement plans, a separate electronic file, in PDF format, of only the streetlight plan sheets and voltage calculations on the record drawing CD. Additionally, the Applicant shall complete and submit the City's streetlight data spreadsheet, with complete data for all streetlights installed, on the record	Prior to Acceptance of Public Improvements	Public Works	

Exhibit A: Conditions of Approval

	<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
	drawing CD.			
69.	The Applicant shall be responsible for all costs associated with off-site right-of-way acquisition associated with Bilby Road, including any costs associated with the eminent domain process, if necessary.	Prior to the Release of the Bond for Bilby Road Improvements	Public Works	
70.	The Applicant shall provide the Police Department an Operational Plan to ensure that staffing levels will allow for adequate supervision to residential of the facility. The Plan shall include door security for all entry doors located on the east and west sides of the building.	Prior to Final or Occupancy	Police	
71.	All building numbers, apartment numbers and suite numbers, addressing and street names shall be approved by the Cosumnes CSD Fire Department.	Prior to Final or Occupancy	Fire	
72.	Water supply shall be provided by the Sacramento County Water Agency.	Prior to Final or Occupancy	Sacramento County Water Agency	
73.	The Applicant shall provide for graffiti-resistant paint or clear graffiti-resistant coating on all masonry walls.	Prior to Final or Occupancy	Community Enhancement	
74.	The Applicant shall provide for climbing vegetation to cover and control graffiti along the exterior of the masonry walls-appropriate vegetation to be detailed within the landscape plans.	Prior to Final or Occupancy	Community Enhancement	
75.	The Applicant shall install a NFPA 13 Fire Sprinklers system along with a complete NFPA 14 Standpipe System.	Prior to Final or Occupancy	Fire	
76.	All vehicle and emergency entrance access gates shall be equipped with click to enter devices.	Prior to Final or Occupancy	Fire	
77.	Lighting shall be engineered so as to not produce direct glare or "stray light" on adjacent properties and the east side perimeter lighting shall be designed such that the source of the lighting is not visible from the residential property to the east.	Prior to Final or Occupancy	Planning	

Exhibit A: Conditions of Approval

General Compliance Items for Building Permit

The following items are noted for the Applicant's information. These items are required by other local agencies, the City, state or federal agencies, and are not conditions of approval of the project.

- a. All signage is subject to separate approval and shall comply with applicable sign provisions established in the Zoning Code. (Planning)
- b. If there are any discrepancies between the approved site plan and the conditions of approval, the conditions of approval shall supersede the approved site plan. (Public Works)
- c. The Applicant shall pay all appropriate development fees charged by the City and other Special Districts providing services to the site. (Public Works)
- d. If an access control gate is added at any time in the future the City of Elk Grove Public Works Department shall approve the geometrics of the entry design. (Public Works)
- e. Any on site traffic calming devices and locations must be approved by Public Works prior to installation, including but not limited to speed bumps. (Public Works)
- f. Street (trench) cuts into existing streets require a separate encroachment permit and the payment of street cut fees, by the Applicant. Where multiple street cuts into the same street occur, a single, final surface (pavement) trench repair over all the trench cuts is required. Pavement grinding is required for the full length and width of the trenches. (Public Works)
- g. Improvement related conditions can be satisfied by completing an approved design, executing an improvement agreement, and providing suitable financial security (e.g. bonds, letter of credit, etc), all to the satisfaction of the City, prior to the implementation timing required by the condition. (Public Works)
- h. The Applicant shall design and construct all improvements in accordance with the City of Elk Grove Improvement Standards, as further conditioned herein, and to the satisfaction of Public Works. (Public Works)
- i. The Applicant shall dedicate a 12.5 foot public utility easement for underground and appurtenances adjacent to all public streets. (Public Works)
- j. All driveways and intersections shall conform to the visibility easement requirement in the City of Elk Grove Improvement Standard. (Public Works)
- k. The internal circulation and access shall be subject to the review and approval of Public Works. (Public Works)
- l. All driveways shall be designed and constructed, by the Applicant, to the satisfaction of Public Works and to the appropriate section of 4-10 Driveways in the City of Elk Grove Improvement Standards. (Public Works)

Exhibit A: Conditions of Approval

- m. Improvement plans must be approved by Public Works prior to 1st Building Permit.
- n. The Applicant shall submit and obtain City approval of plans and specifications for the construction of public improvements and all grading. The drainage system shall be designed in accordance with the accepted Drainage Study to accommodate runoff from the ultimate development and shall meet the City of Elk Grove Improvement Standards, construction standards, storm water design standards, and City of Elk Grove Flood Plain Management Plan and Ordinance in effect at the time of Improvement Plan approval. Street gutter flowlines shall be designed to be above the 10-year frequency flood elevation pursuant to the Floodplain Management Plan. (Public Works)
- o. The Applicant shall complete grading and construct all on-site and off-site drainage improvements in accordance with the approved Improvement Plans. Fulfill all requirements of federal and state permits. (Public Works)
- p. The Applicant shall comply with the regulations of the Federal Emergency Management Agency (FEMA) and the City of Elk Grove Flood Plain Management Ordinance. The lowest finished floor elevation for a habitable building will be a minimum of 1 (one) – foot above the 100-year frequency water level, certified by a registered Civil Engineer or licensed Land Surveyor, and submitted to the City. Amendments and/or revisions of FEMA flood insurance rate maps will be required for all development located in the federal or local flood zone. All FEMA map revisions (both CLOMR and LOMR) must be approved by the City and fully processed through FEMA. Completed revisions shall be placed on file with the City. (Public Works)
- q. The Applicant shall prepare and submit a Post-Construction Stormwater Quality Control Plan in accordance with the most recent version of the Stormwater Quality Design Manual for the Sacramento Region. Post–construction source and treatment controls shall be designed in accordance with the City of Elk Grove Improvement Standards and the Stormwater Quality Design Manual. The design of post–construction source and treatment controls shall be submitted for approval with the improvement plans regardless of whether they constitute private or public improvements. A separate maintenance manual describing proper maintenance practices for the specific treatment controls to be constructed shall also be submitted and accepted by the City. (Public Works)
- r. The Applicant shall prepare a Storm Water Pollution and Prevention Plan (SWPPP) to be executed through all phases of grading and project construction. The SWPPP shall incorporate Best Management Practices (BMPs) to ensure that potential water quality impacts during construction phases are minimized. These measures shall be consistent with the City's Improvement Standards and Land Grading and Erosion Control Ordinance. The SWPPP shall be submitted to the Central Valley Regional Water Quality Control Board for approval and to the City for review. During construction, the Applicant shall implement actions and procedures established to reduce the pollutant loadings in storm drain systems. The project Applicant shall implement Best Management Practices (BMPs) in accordance with the SWPPP and the City of Elk Grove Improvement Standards. (Public Works)
- s. In order to mitigate erosion and sediment control problems on the project site, the project shall comply with the City's Land Grading and Erosion Control Ordinance. If

Exhibit A: Conditions of Approval

the project size is more than one acre, a Notice of Intent (NOI) will be filed to obtain coverage under the California State Water Resources General Construction Activity Storm Water Permit. Permits are issued by the State Water Resources Control Board, which can provide all information necessary to complete and file the necessary documents. Applicant shall comply with the terms of the general construction permit, the City of Elk Grove Municipal Code, and the NPDES Waste Discharge Requirements for the City of Elk Grove Municipal Storm Sewer Discharges. (Public Works)

- t. Dead-end streets in excess of 150 feet require emergency turn-around (Fire).
- u. Any and all gates impeding fire lanes or roadways shall comply with Appendix VII of the 2002 Sacramento County Fire Code. (Fire)
- v. All civil engineering plans are required to be submitted in an electronic format. When plans are ready for final signature, it is required that the engineering firm submit an electronic copy of the complete plan as it appears in the approved printed plans with addresses. All electronic formats will be submitted on Windows/DOS formatted diskettes, zip disks or on compact disk (CD). E-mailed copies will not be accepted at this time. Electronic formats can be submitted in either of the following data transfer formats listed below:
 - i. DXF (Drawing Interchange file) any DXF version is accepted
 - ii. DWG (Applies to AUOCAD drawing file) any AutoCAD DWG version is accepted (Fire)
- w. All commercial buildings, in excess of 3,599 square feet shall be equipped with an approved automatic fire sprinkler system. (Fire)
- x. Commercial developments in excess of 10,000 square feet required looped fire mains of a minimum of ten (10) inch diameter to supply fire hydrants spaced at a maximum of 300-foot intervals. This on-site fire main shall be connected to the municipal water main at not less than two (2) points. (Fire)
- y. This development is required to provide fire flow from a public water system capable of delivering at a minimum 50 PSI static pressure and 3,000 GPM at 20 PSI residual pressure in commercial areas and 50 PSI static pressure. Buildings of certain types on construction, size, and use may need additional fire flows or the application of mitigating efforts to meet fire flows above this minimum. (Fire)
- z. All required roadways, street signs, addresses, water mains, fire hydrants, and fire flows shall be provided prior to the existence of any combustible construction or storage. The slope of access roadways shall not exceed 10% for asphalt and 5% for concrete. The roadways shall be constructed to a 20-foot minimum width of three (3) inches AC over six (6) inches AB with good drainage. (Fire)
- aa. CCSDFD approved traffic pre-emption devices of a type approved by the Elk Grove Fire Department shall be installed on all traffic signal devices erected or modified by this development. These devices shall be installed and functioning prior to any occupancy and at no cost to the Elk Grove Fire Department. (Fire)

Exhibit A: Conditions of Approval

- bb. Required fire alarm systems shall be connected to a UL listed central station approved by the Sacramento County Regional Communications Center. (Fire)
- cc. The installation of on-site or off-site fire protection equipment including fire hydrants and water mains shall meet the standards of the Elk Grove Fire Department and the water purveyor having jurisdiction. (Fire)
- dd. The installation of roadway gates, addresses, landscaping, pipe bollards, fuel tanks, masonry sound walls tree wells and/or all other traffic calming devices is subject to standards outlined by the Elk Grove Fire Department. All proposed traffic-mitigation plans shall be submitted to the Elk Grove CSD Fire Department for review and approval prior to installation. (Fire)
- ee. Any use of CSD-1 sewer easements, which is not compatible or interferes with the construction, reconstruction, operation, maintenance, or repair of the District's sanitary sewer(s) shall not be allowed. Each proposed use shall be reviewed and approved in writing by the District Engineer prior to the use of the easement by the Grantor. This includes landscaping. (CSD-1)
- ff. If a lifting and/or pumping station is requested to serve this project, the Applicant shall install all necessary infrastructure (Electrical power and wiring, telemetry, piping, manholes, wells, gates, etc.) for the complete operation of the facility at full development and final maximum service capacity as identified in applicable approved sewer studies. The only exception to this requirement is the pump size, which shall be installed in accordance with the initial designed service capacity. (CSD-1)
- gg. If interim sewer infrastructure (such as sewer pipes, manholes, and lifting and/or pumping stations) is required to serve this project, the Applicant shall be responsible for the cost to CSD-1, to decommission, and abandon such interim sewer infrastructure. The mechanism to capture these costs shall be approved and accepted by CSD-1, prior to approval of Improvement Plans for plan check to CSD-1, which ever comes first. (CSD-1)
- hh. Developing this property may require the payment of sewer impact fees. The Applicant should contact the Fee Quote Desk at 916-876-6100 for sewer fee information. (CSD-1)

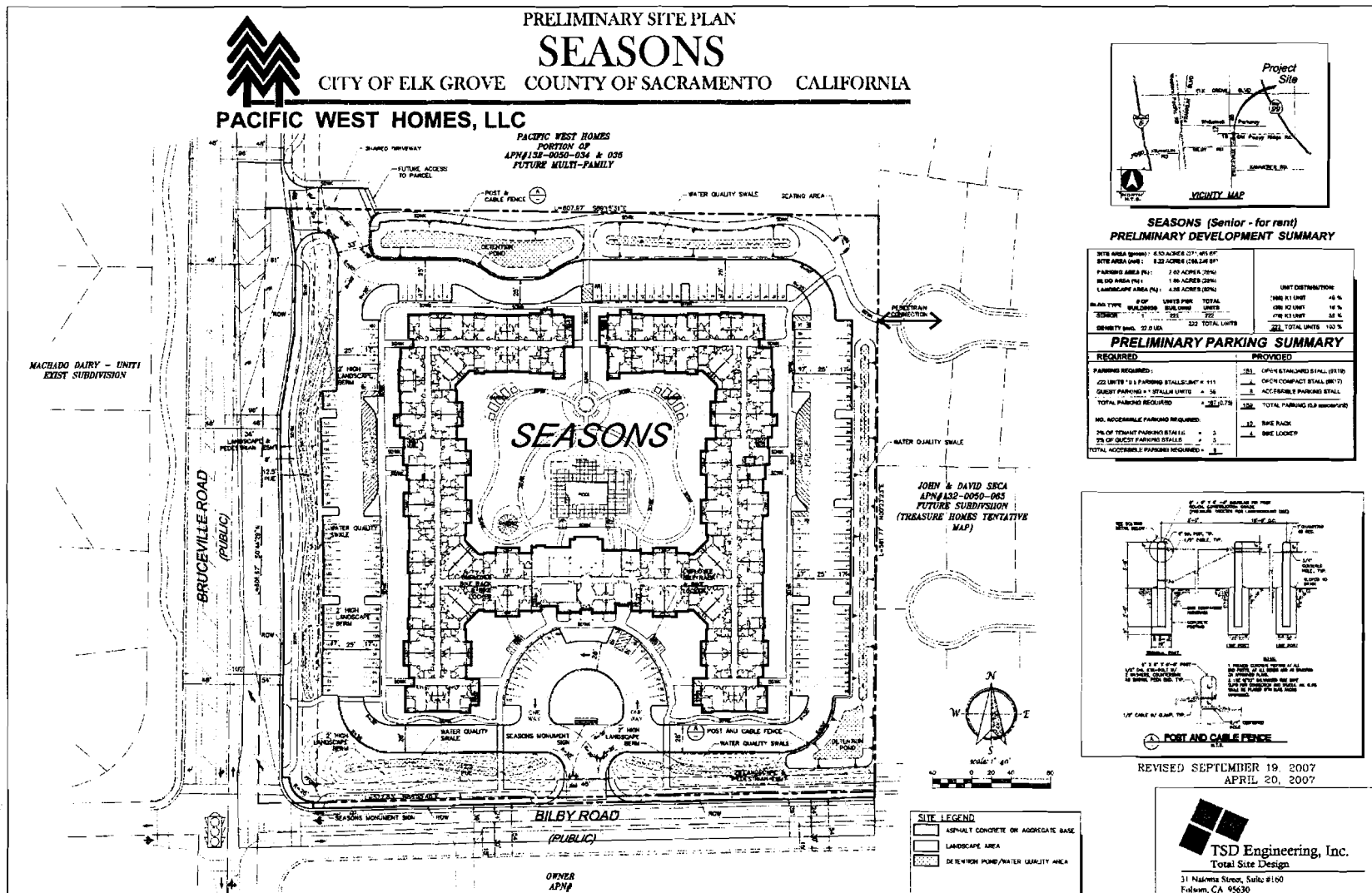


Exhibit B: Project Exhibits



BILBY ROAD ELEVATION



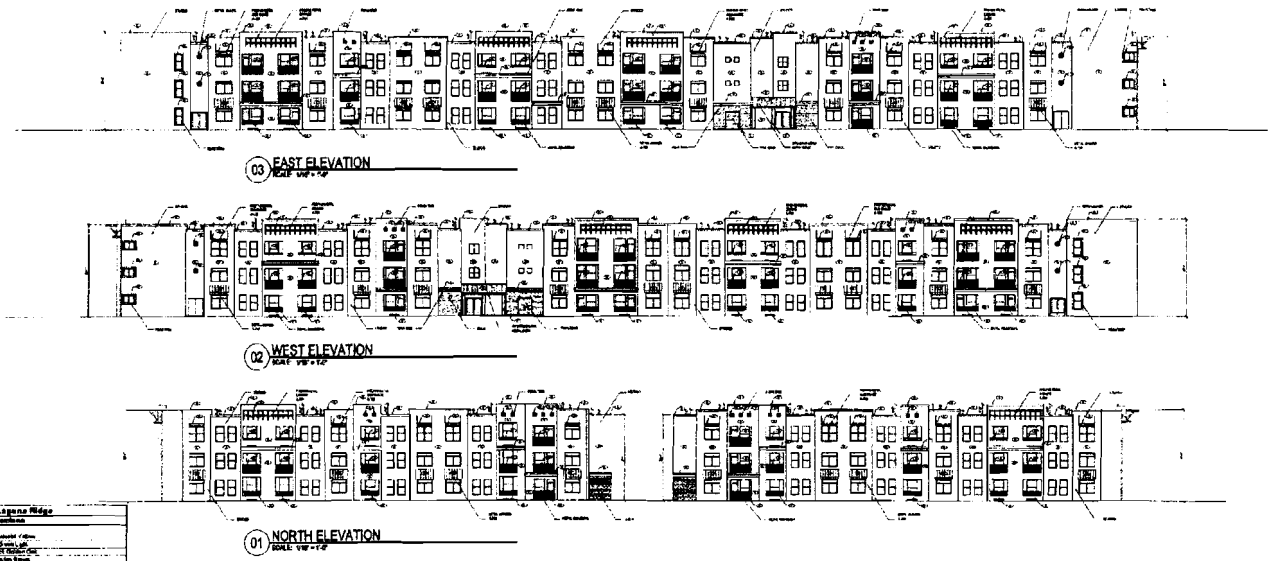
BRUCEVILLE ROAD ELEVATION

SEASONS AT LAGUNA RIDGE SENIOR APARTMENTS

ELK GROVE - CALIFORNIA
PACIFIC WEST HOMES, LLC

CHARACTER ELEVATIONS

DATE: 10/06/07



Seasons at Laguna Ridge	
Material Schedule	
1.	Red Brick - Common
2.	Red Brick - Special
3.	White Stucco
4.	White Stucco - Smooth
5.	White Stucco - Textured
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ELEVATIONS

SEASONS
 ELK GROVE - CALIFORNIA
 PACIFIC WEST HOMES, LLC
 APRIL 20, 2007 HPA JOB # 2005462

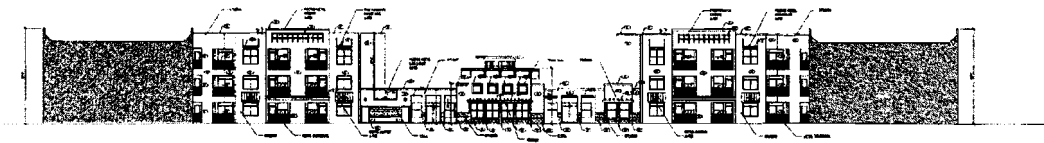
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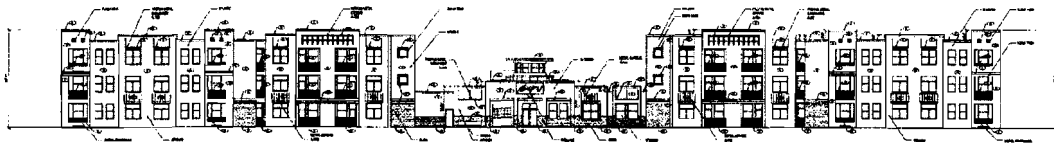
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 All drawings are prepared
 under the supervision of
 the architect or architect-in-charge
 and are not to be used for
 construction without the
 written consent of the architect
 and engineer.



02 COURTYARD SOUTH ELEVATION
 SCALE: 1/16" = 1'-0"



01 SOUTH ELEVATION
 SCALE: 1/16" = 1'-0"

Seasons at Laguna Ridge	
16 Garden Specifications	
16-01	16-01 Garden Specifications
16-02	16-02 Garden Specifications
16-03	16-03 Garden Specifications
16-04	16-04 Garden Specifications
16-05	16-05 Garden Specifications
16-06	16-06 Garden Specifications
16-07	16-07 Garden Specifications
16-08	16-08 Garden Specifications
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16-30	16-30 Garden Specifications

ELEVATIONS

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SEASONS

ELK GROVE - CALIFORNIA
 PACIFIC WEST HOMES, LLC
 APRIL 20, 2007 HPA JOB # 2005452

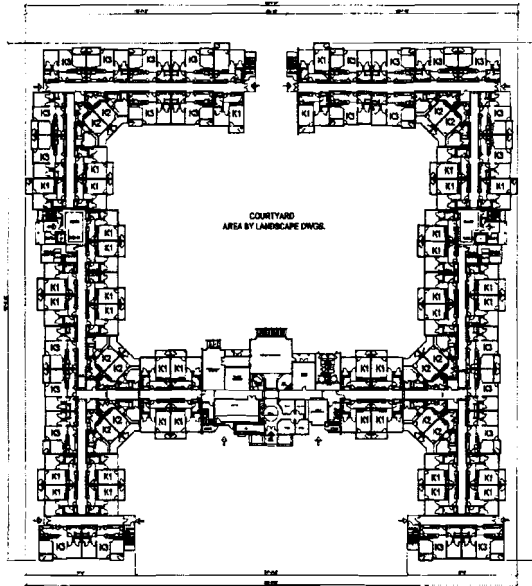


SCALE: 1/16" = 1'-0"

A-405

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FIRST FLOOR PLAN

BUILDING PLAN

SEASONS

ELK GROVE - CALIFORNIA
 PACIFIC WEST HOMES, LLC
 APRIL 20, 2007 HPA JOB # 2005452

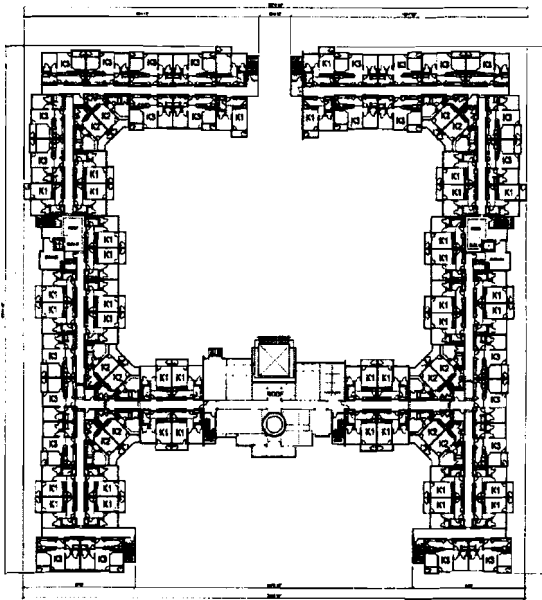


SCALE: 1/32" = 1'-0" **A-401**

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2ND & 3RD FLOOR PLAN

BUILDING PLAN

SCALE: 1/32" = 1'-0" **A-402**

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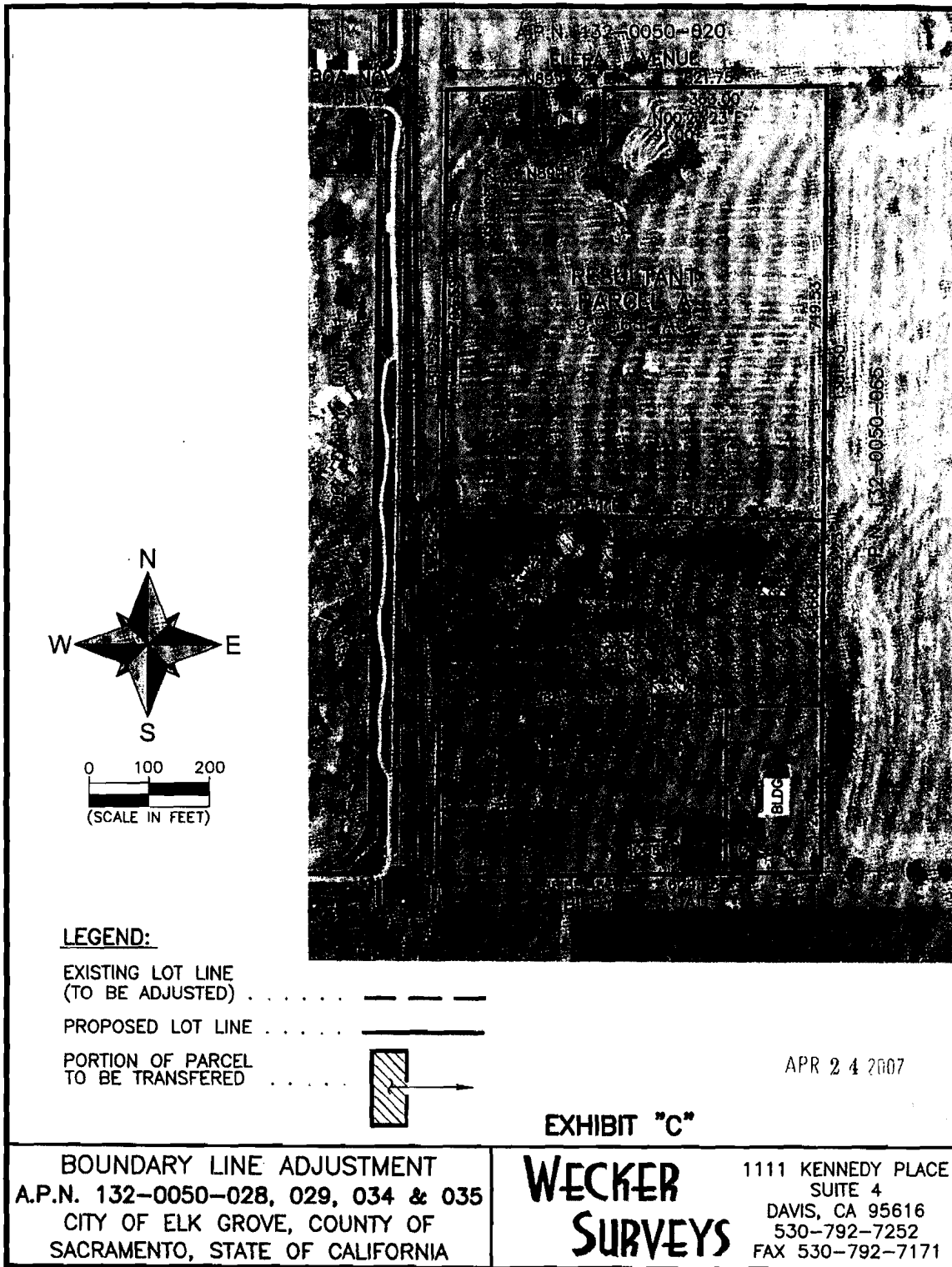
SEASONS
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Exhibit B: Project Exhibits



**CERTIFICATION
ELK GROVE CITY COUNCIL RESOLUTION NO. 2007-232**

STATE OF CALIFORNIA)
COUNTY OF SACRAMENTO) ss
CITY OF ELK GROVE)

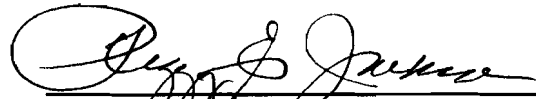
I, Peggy E. Jackson, City Clerk of the City of Elk Grove, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the City Council of the City of Elk Grove at a regular meeting of said Council held on October 10, 2007 by the following vote:

AYES : COUNCILMEMBERS: Cooper, Leary, Scherman, Hume, Davis

NOES: COUNCILMEMBERS: None

ABSTAIN : COUNCILMEMBERS: None

ABSENT: COUNCILMEMBERS: None



**Peggy E. Jackson, City Clerk
City of Elk Grove, California**

